



**CITY OF EUREKA**  
**DEVELOPMENT SERVICES DEPARTMENT**  
Rob Holmlund, AICP, Director

531 K Street, Third Floor  
Eureka, California 95501-1146  
(707) 441-4160 • [planning@ci.eureka.ca.gov](mailto:planning@ci.eureka.ca.gov)  
[www.ci.eureka.ca.gov](http://www.ci.eureka.ca.gov)

**NOTICE OF PUBLIC HEARING**  
**EUREKA DESIGN REVIEW COMMITTEE**

**NOTICE IS HEREBY GIVEN** that the Eureka Design Review Committee will hold a public hearing on **August 14, 2019**, at 8:30 a.m., or as soon thereafter as the matter can be heard, in the Council Chamber, Eureka City Hall, 531 "K" Street, Eureka, California, to consider the following application:

**Project Title:** *KFC Commercial Development Design Review*

**Project Applicant:** Jaesang Yoo      **Case No:** DR-19-0001

**Project Location:** 2245 Broadway; APN 008-011-007

**Project Zoning and Land Use:** Service Commercial (SC), General Commercial (GC)

**Project Description:** The applicant is proposing to develop a principally permitted 2,551 square foot restaurant with a drive-through on Broadway. Development of the site includes associated parking areas, landscaping, and utilities. Design Review is required for new buildings in the Service Commercial zone district. This project is a discretionary action subject to environmental review in accordance with the California Environmental Quality Act (CEQA). This project qualifies for Class 32 (Section 15332) and Class 3 (15303) exemptions.

All interested persons are invited to comment either in person at the scheduled public hearing, or in writing. Written comments may be submitted prior to or during the hearing by mailing or delivering them to the Development Services Department, Third Floor, 531 K Street, Eureka. Appeals to the Planning Commission of the action of the Design Review Committee, may be made within 10 calendar days of the action by filing a written Notice of Appeal, along with the filing fees as set by the City Council, with the City Clerk.

If you challenge any decision made by a review authority through administrative appeal or in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the review authority at, or prior to, the public hearing. Accommodations for handicapped access to City meetings must be requested of the City Clerk, 441-4175, five working days in advance of the meeting. The project file is available for review at the Development Services Department. If you have questions regarding the project or this notice, please contact Swan Asbury, Associate Planner, [sasbury@ci.eureka.ca.gov](mailto:sasbury@ci.eureka.ca.gov) or (707) 268-1830.



**CITY OF EUREKA**  
**DEVELOPMENT SERVICES DEPARTMENT**

Rob Holmlund, AICP, Director

Swan Asbury, Associate Planner

531 K Street • Eureka, California 95501-1146

Ph (707) 268-1830

[sasbury@ci.eureka.ca.gov](mailto:sasbury@ci.eureka.ca.gov) • [www.ci.eureka.ca.gov](http://www.ci.eureka.ca.gov)

**CITY OF EUREKA DESIGN REVIEW COMMITTEE**

**STAFF REPORT**

August 14, 2019

**Project Title:** *KFC Commercial Development Design Review*

**Project Applicant:** Jaesang Yoo      **Case No:** DR-19-0001

**Project Location:** 2245 Broadway

**APN:** 008-011-007

**Project Zoning and Land Use:** SC (Service Commercial)/GC (General Commercial)

**Project Description:**

The applicant is proposing to develop a principally permitted 2,551 square foot restaurant with a drive-through on Broadway. Development of the site includes associated parking areas, landscaping, and utilities. Design Review is required for new buildings in the Service Commercial zone district. Design Review is the only discretionary approval required for this project.

Materials include:

- Stucco
- Brick
- Louvered awnings
- Landscaping: Vine Maple, California Buckeye, Red Alder, Western Flowering Dogwood, and California Ash trees. In addition, Kinnick, Sanddune Sedge, Bush Anemone, California Lilac, Kelseyi Dogwood, Tufted Hair Grass, California Fescue, Beach Strawberry, and Woodland Strawberry shrubs

**Analysis:**

The project requires Design Review as it consists of new buildings with 500 square feet or more in a mixed-use zoning district. Approval of the Design Review application, requires that the following findings be made to ensure the project complies with the Design Review criteria.

**Design Review Criteria:**

Community Character	The overall project design enhances Eureka’s unique character and distinctive sense of place. A variety of building types and styles respects Eureka’s architectural heritage and embraces forward-looking creative expression;
	<b>The project site for the proposed restaurant with a drive thru is currently vacant. The addition of this project will enhance Broadway and provide a contemporary building and landscape.</b>
Surrounding Context	The overall project and associated buildings enhance the design quality of the area where they are located. New buildings may “fit in” with traditional architecture that matches or compliments the surrounding context or “stand out” with a contemporary and contrasting style. All buildings must minimize adverse impacts on neighboring properties when possible;
	<b>The addition of the new building will activate the current open space or vacant lot, thus enhancing the design quality of the area. The new building will stand out with a contemporary and contrasting style to the neighboring properties.</b>
Pedestrian Environment	Buildings incorporate design features that support an active public realm and an inviting pedestrian environment;
	<b>A vegetated swale and bioretention facilities which are at the same grade as the rest of the planter area will be utilized along the pedestrian walkway to improve pedestrian environment. Short and long-term bicycle parking stations are offered as well.</b>
Architectural Style	Buildings demonstrate a coherent and successfully executed architectural style. Building architecture may be traditional or modern. Buildings are not required to conform to any dominant architectural style or local vernacular. Creative architectural and artistic expression is encouraged;
	<b>The exterior design of the building is a signature red and white striped color that is bold, fresh, and stands out in the Broadway context.</b>
Articulation and Visual Interest	Building facades are distinctive, create visual interest, and relate to the human scale through vertical and horizontal articulation, varied building planes, distinctive building elements, and/or noticeable architectural details. Building elements such as roofs, doors, windows, and porches are part of an integrated design and relate to the human scale. Architectural details such as articulation, trim, eaves, window boxes, and brackets contribute to the visual interest of the building;
	<b>The proposed project includes a tower with a lid that will be distinctive and provide visual interest. The windows, awnings and stripes with horizontal wainscot will balance the design to the human scale.</b>
Materials	Building facades feature high-quality materials that are appropriate to the architectural style, enhance building articulation, and are compatible with surrounding development;
	<b>Building façade materials include stucco, brick and louvered awnings. The striped painting enhances the visual interest.</b>

Safety	The project promotes public safety and minimizes opportunities for crime through design features such as property access controls (e.g., placement of entrances, fences), increased visibility and features that promote a sense of ownership of outdoor space.
	<b>The majority of the site features are located along the frontage of the property which is adjacent to Broadway Avenue, enhancing the security of the site by making it well lit, and highly visible.</b>
Landscaping	Landscaping features low water-use plants appropriate for the local climate and does not include any invasive species that would be harmful to native plants and habitat in compliance with Section 155.320.050.D (Invasive Plants).
	<b>Landscaping features includes Vine Maple, California Buckeye, Red Alder, Western Flowering Dogwood, and California Ash trees. In addition, Kinnick, Sanddune Sedge, Bush Anemone, California Lilac, Kelseyi Dogwood, Tufted Hair Grass, California Fescue, Beach Strawberry, and Woodland Strawberry shrubs will be included, all of which are not invasive plants.</b>

### Findings

Objective 1	The proposed project is consistent with the General Plan, any applicable specific plan or area plan, and other design policies and regulations adopted by the City Council;
	<b>The proposed project is consistent with the General Plan because it ensures that the street-facing facades of proposed developments exhibit high quality design, complement neighboring properties, and contribute to Eureka’s distinctive identity and unique sense of place, as implemented by the Zoning Code.</b>
Objective 2	The proposed project complies with all applicable provisions of the Zoning Code and Municipal Code;
	<b>The proposed project meets most of the development standards of the Zoning Code and Municipal Code. Section §155.308.040 [D] requires maintenance of sight lines in the Vision Clearance Area. Moving the proposed trees out of this area will result in the project complying with all applicable provisions of the Zoning Code and Municipal Code.</b>
Objective 3	The proposed development will not be detrimental to public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity;
	<b>The proposed development seeks to enhance public health, safety, and welfare through providing in-fill development in compliance with the Zoning Code.</b>
Objective 4	The proposed project complies with all applicable Design Review criteria in Division 155.408.030.H (Design Review Criteria)

	<b>The proposed project complies with all applicable Design Review criteria as findings can be made to support each criteria.</b>
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**Environmental:** The Design Review process is a discretionary action subject to environmental review in accordance with the California Environmental Quality Act (CEQA). However, this project qualifies for a Class 32 exemption from CEQA because the project can be characterized as in-fill development meeting the conditions of Section 15332. In addition, the project also qualifies for a Class 3 exemption from CEQA because the project is new construction under 10,000 square feet meeting the conditions of Section 15303.

**Agency and Departmental Comments:**

City of Eureka Engineering response:

1. There is concern that the excavation and addition of the bioretention basin at the toe of the slope will affect the stability of the hill side, in turn threatening the road and utilities above. A geotechnical report will be required indicating the stability of the hill side with the revised slope and addition of the bioretention basin.
2. Drainage from the entire parcel must be directed into the bioretention basin (with the exception of sidewalks and driveways/entrances).
3. If (E) sewer lateral is to be used, it shall be video inspected and reviewed by the City for verification of condition for continued use.
4. Applicant shall show proposed backflow devices on each water connection(s) including fire service, irrigation service (if needed), and domestic service (whether it be renewed/upsized/relocated).
5. Fees will be charged for all sewer and water connections, both impact and installation fees.

Suddenlink response:

1. Contractor/Developer should include Suddenlink with issues concerning the design and coordination of the underground utilities/joint trench.

**Staff Recommendation and Motion:**

1. Hold a Public Hearing; and
2. Approve the Design Review application with the condition that no landscaping over 36 inches in height be placed within the vision clearance area.

**Staff Contact Person:** Swan Asbury, Associate Planner; phone: (707) 268-1830; email: [sasbury@ci.eureka.ca.gov](mailto:sasbury@ci.eureka.ca.gov)

**Attachments:**

1. Resolution

2. Site Plan
3. Exterior Elevations
4. Landscaping Plan
5. Soil Details
6. Fence and Boulder Details
7. Vertical Pylon Sign Rendering
8. Trash Enclosure Details

**DESIGN REVIEW COMMITTEE RESOLUTION NO. 2019-\_\_\_**  
A RESOLUTION OF THE DESIGN REVIEW COMMITTEE OF THE CITY OF EUREKA  
APPROVING THE PROPOSED COMMERCIAL DEVELOPMENT AT 2245 BROADWAY

**WHEREAS**, the applicant is proposing to construct a new commercial development at 2245; and

**WHEREAS:** The property at 2245 Broadway is zoned Service Commercial (SC) and has a land use designation of General Commercial (GC); and

**WHEREAS:** The Eureka Municipal Code §155.412.040(B)(1) requires that all new buildings 500 square feet or more in a mixed-use zoning district receive Design Review Committee approval prior to construction.

The following findings of fact are based on information submitted with the permit application, agency comments, available records, public comment, and staff research and analysis.

**FINDING 1:** The proposed project is consistent with the required Design Review findings found in §155.412.040(J) *FINDINGS*, as described in the staff report.

**FINDING 2:** The Design Review process is a discretionary action subject to environmental review in accordance with the California Environmental Quality Act (CEQA). However, this project qualifies for a Class 32 exemption from CEQA because the project can be characterized as in-fill development meeting the conditions of CEQA Guideline §15332. In addition, the project also qualifies for a Class 3 exemption from CEQA because the project is new construction under 10,000 square feet meeting the conditions of CEQA Guideline §15303.

**NOW THEREFORE, BE IT RESOLVED** by the Design Review Committee of the City of Eureka that the project, as described in the Staff Report, is approved subject to the following conditions of approval. The violation of any term or requirement of this conditional approval may result in the revocation of the permit.

**CONDITION 1:** No landscaping over 36 inches in height be placed within the vision clearance area.

**CONDITION 2:** Prior to commencement of any demolition, remodeling or construction, the applicant will obtain all required Building permits to the satisfaction of the City of Eureka Public Works Building Department.

**CONDITION 3:** In the event a building permit involving any ground disturbing activity is issued, the City's standard protocol for incidental archeological discovery (cultural or historical artifacts) shall be followed:

- a)** If archaeological resources are encountered during construction activities, all onsite work shall cease in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist will be retained to evaluate and assess the significance of the discovery, and develop and implement an avoidance or mitigation plan, as appropriate. For discoveries known or likely to be associated with native American heritage (prehistoric sites and select historic period sites), the Tribal Historic Preservation Officers for the Bear River Band of Rohnerville Rancheria, Blue Lake Rancheria, and Wiyot Tribe are to be contacted immediately to evaluate the discovery and, in consultation with the project proponent, City of Eureka, and consulting archaeologist, develop a treatment plan in any instance where significant impacts cannot be avoided. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. Historic archaeological discoveries may include 19th century building foundations; structure remains; or concentrations of artifacts made of glass, ceramic, metal or other materials found in buried pits, old wells or privies.
- b)** If paleontological resources, such as fossilized bone, teeth, shell, tracks, trails, casts, molds, or impressions are discovered during ground-disturbing activities, work shall stop in that area and within 100 feet of the find until a qualified paleontologist can assess the nature and importance of the find and, if necessary, develop appropriate treatment measures in conformance with Society of Vertebrate Paleontology standards, and in consultation with the City of Eureka.
- c)** In the event of discovery or recognition of any human remains during construction activities, the landowner or person responsible for excavation would be required to comply with the State Health and Safety Code Section 7050.5. Construction activities within 100 feet of the find shall cease until the Humboldt County Coroner has been contacted at 707-445-7242 to determine that no investigation of the cause of death is required. If the remains are determined to be, or potentially be, Native American, the landowner or person responsible for excavation would be required to comply with Public Resources Code Section 5097.98. In part, PRC Section 5097.98 requires that the Native American Heritage Commission (NAHC) shall be contacted within 24 hours if it is determined that the remains are Native American. The NAHC would then identify the person or persons it believes to be the most likely descendant from the deceased Native American, who in turn would make recommendations to the landowner or the person responsible for the excavation work for the appropriate means of treating the human remains and any associated grave goods within 48 hours of being granted access to the site. Additional provisions of Public Resources Code Section 5097.98 shall be complied with as may be required.

**PASSED, APPROVED AND ADOPTED** by the Design Review Committee of the City of Eureka in the County of Humboldt, State of California, on August 14, 2019 by the

following vote:

AYES: COMMISSIONER  
NOES: COMMISSIONER  
ABSENT: COMMISSIONER  
ABSTAIN: COMMISSIONER

Committee

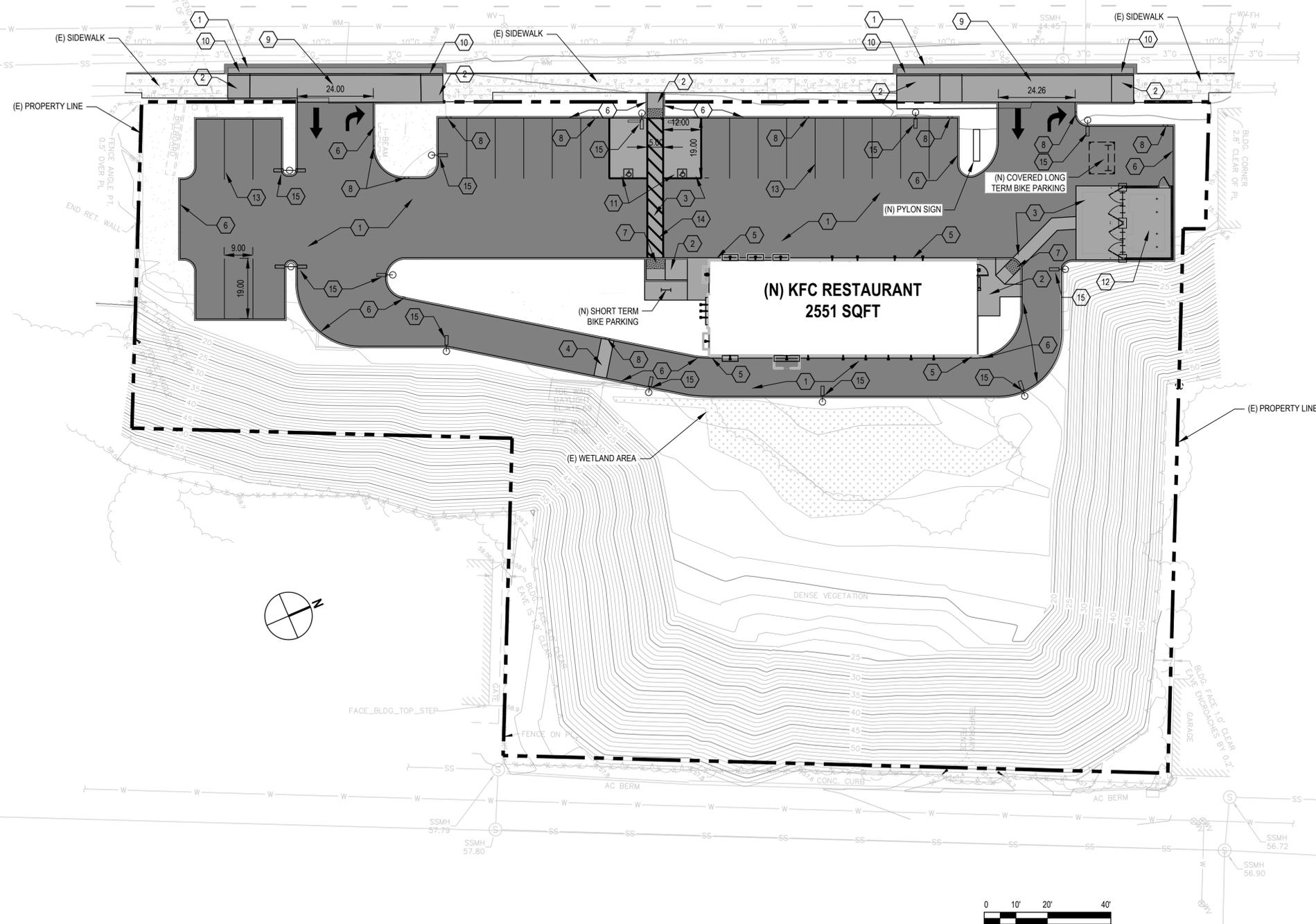
\_\_\_\_\_  
Kassidy Harris-Banducci, Chair, Design Review

*Attest:*

\_\_\_\_\_  
Rob Holmlund, Director of Development

Services

**BROADWAY AVE**



**SHEET GENERAL NOTES**

1. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED WITHIN THE LIMIT OF WORK SHOWN, UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER.
2. PROVIDE TACK COAT TO ALL VERTICAL SURFACES OF EXISTING PAVEMENT, CURBS, GUTTERS AND CONSTRUCTION JOINTS IN THE SURFACING AGAINST WHICH NEW ASPHALT CONCRETE PAVING IS PLACED.
3. CONTRACTOR SHALL REPAIR OR PATCH ALL DAMAGED PAVING AND STRUCTURES, BACKFILL GRADES TO MATCH EXISTING, AND REPLACE ANY DAMAGED VEGETATION INCLUDING GRASS.
4. ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.

**LINE & HATCH LEGEND**

- (N) ASPHALT CONCRETE
- (N) CONCRETE
- RIGHT-OF-WAY / PROPERTY LINE
- (N) EDGE OF PAVEMENT
- (E) EDGE OF PAVEMENT

**KEY NOTES**

1. (N) HMA PAVEMENT C-501
2. (N) SIDEWALK C-501
3. (N) VEHICULAR CONCRETE PAVEMENT C-501
4. (N) CONCRETE VALLEY GUTTER C-501
5. (N) 10" CONCRETE CURB C-501
6. (N) CONCRETE CURB C-501
7. (N) CURB RAMP C-501
8. (N) CONCRETE CURB CUT C-501
9. (N) DROP DRIVEWAY C-501
10. (N) CURB AND GUTTER C-501
11. (N) ADA ACCESSIBLE STALLS C-501
12. (N) TRASH ENCLOSURE C-501
13. 4" WIDE WHITE PARKING STRIPING, TYP
14. (N) 4" WIDE, BLUE ADA PARKING STRIPING
15. (N) SLM-LED-24L-SIL-FT-40-70CRI LIGHT FIXTURE MOUNTED AT 25'

**PRELIMINARY DESIGN**

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CONSTRUCTION**

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GHD Inc.  
718 Third Street  
Eureka California 95501 USA  
T 1 707 443 8326 F 1 707 444 8330 W www.ghd.com

Drawn	N. SANGER	Designer	N. SANGER
Drafting Check	O. GOODE	Design Check	N. SANGER
Project Manager	N. SANGER	Date	7/24/2019
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Client **STEWART RESTAURANT GROUP**  
Project **KFC - 2245 BROADWAY, EUREKA CA**  
Title **SITE PLAN**

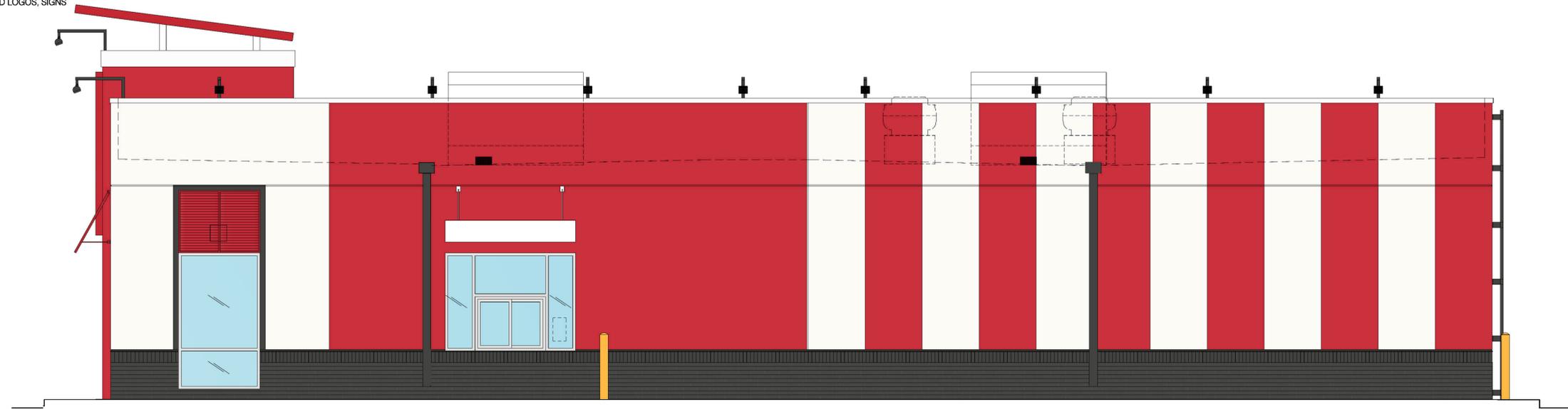
Project No. **11184638**

Original Size **ANSI D**  
Sheet No. **C-102**



NOTE:

REFER TO GRAPHICS PACKAGE FOR EXACT LOCATION, SIZE AND FORM OF ALL EXTERIOR DIMENSIONAL AND APPLIED LOGOS, SIGNS BANNERS AND GRAPHICS.



NOTE:  
SIGNAGE AND BUILDING ELEMENTS ARE NOT SHOWN ON THIS SHEET, REFER TO "VENDOR SUPPLIED / INSTALLED ELEMENTS" GENERAL NOTE, THIS SHEET.

**DRIVE-THRU ELEVATION** 1/4"=1'-0" **A**

**MARK D. McCLUGGAGE**  
1922 E. Douglas Wichita, KS 67211  
Tel: (316) 261-7806  
www.gdmv.com

CONSULTANT'S SEAL

16026.17003

PLAN SET REVISIONS:


CONTRACT DATE: 03.16.2017  
BUILDING TYPE: Kb 30-17  
PLAN VERSION: 2018.A  
SITE NUMBER: xxx - xxx  
ENTITY NUMBER: xxx - xxx  
STORE NUMBER: xxxxx

**KFC**  
2245 BROADWAY  
EUREKA, CA 95501



Kb 30-17

**EXTERIOR ELEVATIONS**

**A4.1**

PLOT DATE: 24.07.2019

NOTE:

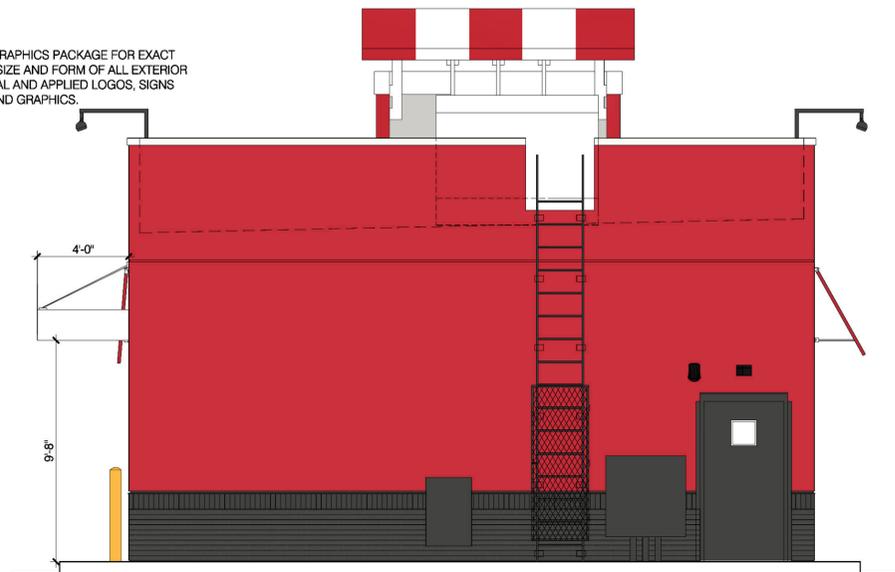
REFER TO GRAPHICS PACKAGE FOR EXACT LOCATION, SIZE AND FORM OF ALL EXTERIOR DIMENSIONAL AND APPLIED LOGOS, SIGNS BANNERS AND GRAPHICS.



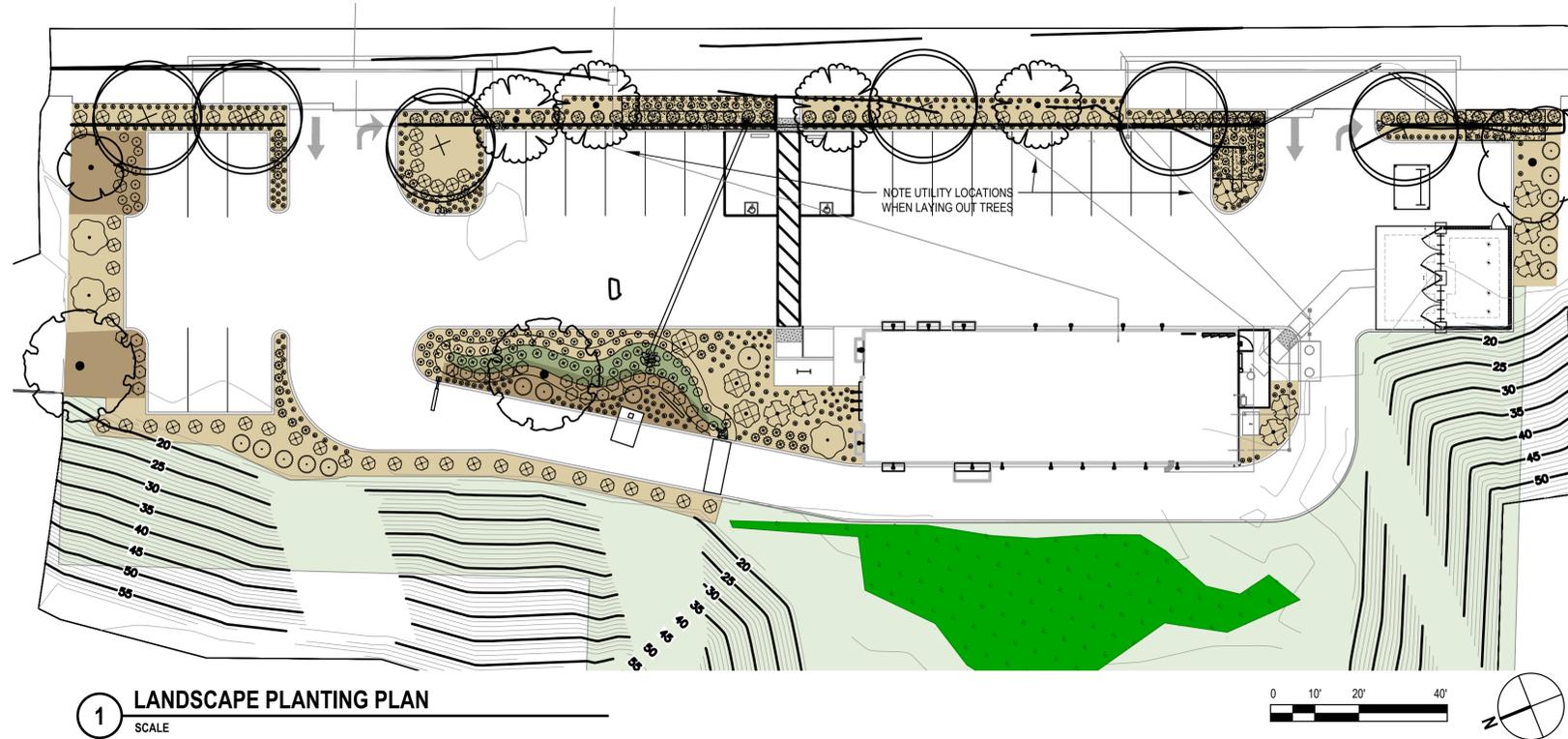
**FRONT ELEVATION** 1/4"=1'-0" **B**

NOTE:

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**REAR ELEVATION** 1/4"=1'-0" **C**



# 1 LANDSCAPE PLANTING PLAN

SCALE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY	DETAIL	REMARKS
	ACE CIR	ACER CIRCINATUM	VINE MAPLE	6" TRUNK HEIGHT	M	1		HEIGHT TO 25' (UFEI SELECTREE)
	AES CAL	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	6" TRUNK HEIGHT	VL	1		HEIGHT TO 25' (UFEI SELECTREE)
	ALN RUB	ALNUS RUBRA	RED ALDER	6" TRUNK HEIGHT	M	2		WATER USE 'M' IN COASTAL HUMBOLDT
	COR NUT	CORNUS NUTTALLII	WESTERN FLOWERING DOGWOOD	6" TRUNK HEIGHT	L	6		40-50' H (UFEI SELECTREE) WATER USE ESTIMATED 'L' IN COASTAL HUMBOLDT DUE TO CLIMATE DIFFERENCES FROM MOST OF WUCOLS ZONE 1
	FRA DIP	FRAXINUS DIPETALA	CALIFORNIA ASH	6" TRUNK HEIGHT	L	4		HEIGHT TO 25' (UFEI SELECTREE)
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY	DETAIL	REMARKS
	ARC UVA	ARCTOSTAPHYLOS UVA-URSI	KINNICKINNICK	1 GAL	L	3		
	CAR PAN	CAREX PANSA	SANDDUNE SEDGE	PLUGS	M	15		
	CAR ELI	CARPENTERIA CALIFORNICA 'ELIZABETH'	BUSH ANEMONE	15 GAL	L	14		*WATER USE 'LOW' IN COASTAL HUMBOLDT
	CEA YAN	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	PROSTRATE CALIFORNIA LILAC	5 GAL	L	9		
	COR KE2	CORNUS SERICEA 'KELSEYI'	KELSEYI DOGWOOD	5 GAL	M	25		WATER USE 'M' IN COASTAL HUMBOLDT
	DES TUF	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	L	78		
	FES CAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 gal.	L	32		
	FRA CHI	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	4"	L	347		WATER USE 'LOW' IN COASTAL HUMBOLDT
	FRA WOO	FRAGARIA VESCA	WOODLAND STRAWBERRY	4"	L	38		WATER USE LOW IN COASTAL HUMBOLDT COUNTY.

SHRUBS	CODE	BOTANICAL NAME	SIZE	WUCOLS	QTY	DETAIL	REMARKS
	IRI DOU	IRIS DOUGLASIANA	1 GAL	L	34		
	JUN PAT	JUNCUS PATENS	1 GAL	L	40		
	PIC PAP	PICEA SITCHENSIS 'PAPOOSE'	15 GAL	L	1		WATER USE 'LOW' IN COASTAL HUMBOLDT
	RIB SAN	RIBES SANGUINEUM	5 GAL	L	3		
	ROS GYM	ROSA GYMNOCARPA	5 GAL	L	38		MAINTENANCE: PRUNE TO 3' H X 3' W (WILL SPREAD). ADD COMPOST ANNUALLY. WATER USE EXPECTED TO BE LOW IN COASTAL HUMBOLDT COUNTY.
	VAC OVA	VACCINIUM OVATUM	5 GAL	L	62		WATER USE 'L' IN COASTAL HUMBOLDT. MAINTENANCE: PRUNE TO 3' H X 3' W

# 1 PLANTING SCHEDULE

SCALE

**PRELIMINARY DESIGN**

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0 1"

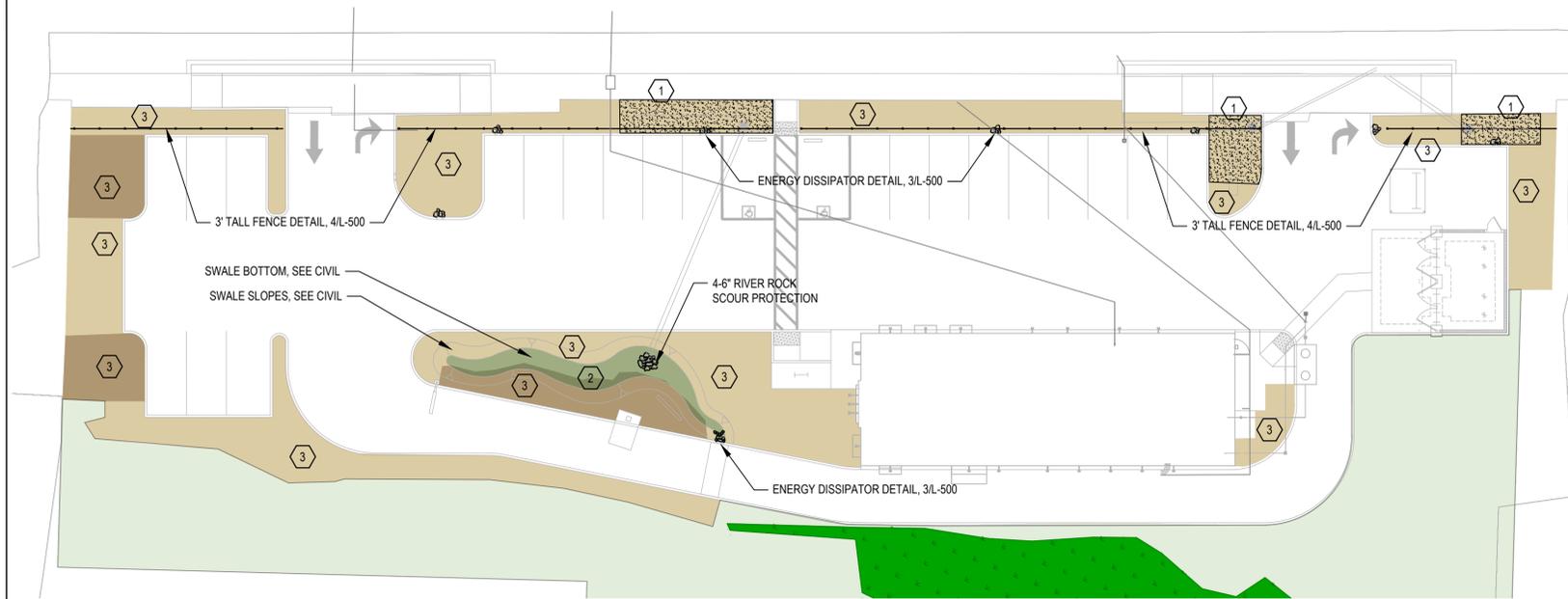
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**GHD**  
GHD Inc.  
718 Third Street  
Eureka California 95501 USA  
T 1 707 443 8326 F 1 707 444 8330 W www.ghd.com

Drawn	J.HALL	Designer	J.HALL
Drafting Check		Design Check	N. SANGER
Project Manager	N. SANGER	Date	7/24/2019
This document shall not be used for construction unless signed and sealed for construction.		Scale	AS SHOWN

Client	STEWART RESTAURANT GROUP		
Project	KFC - 2245 BROADWAY, EUREKA CA		
Title	PLANTING PLAN AND SCHEDULE		
Project No.	11184638		
Original Size	ANSI D	Sheet No.	L-101

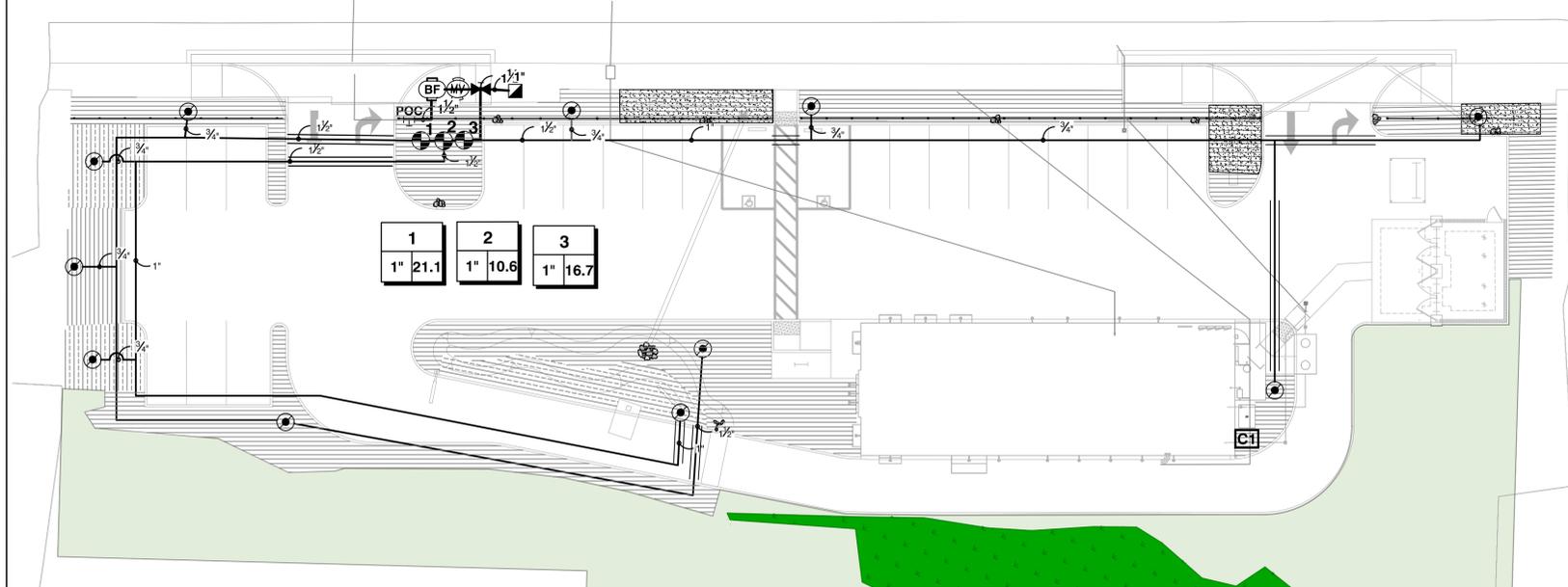


**SOIL & ROCK PLAN AND IRRIGATION HYDROZONES**

SCALE

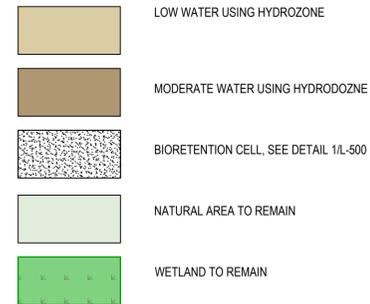


NOTE: IRRIGATION EQUIPMENT LOCATIONS ARE SCHEMATIC FOR CLARITY. LOCATE EQUIPMENT AND PIPES WITHIN LANDSCAPE AREAS EXCEPT WHERE PIPE CROSSINGS ARE REQUIRED.



**IRRIGATION PLAN**

SCALE



**HYDROZONE AND LANDSCAPE ZONES**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	11
	Area to Receive Dripline Rain Bird XFD-04-12 XFD On-Surface Pressure Compensating Landscape Dripline. 0.4 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	5,582 l.f.
	Area to Receive Dripline Rain Bird XFD-06-12 XFD On-Surface Pressure Compensating Landscape Dripline. 0.6 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	1,064 l.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	3
	Rain Bird 5-LRC 1" 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 1-Piece Body.	1
	Matco-Norca 770S PVC White Ball Valve for Sch 40 and Sch 80 Pipe, solvent slip ends with "T" Handle, same size as mainline. 1/2" to 4".	1
	Rain Bird PEB-PRS-D 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	1
	Febco 825YA 1" Reduced Pressure Backflow Preventer	1
	Rain Bird ESP8LXME-LXMM-LXMPED 8 Station Capable Commercial Controller. Mounted on a Powder-Coated Metal Pedestal. Without Flow Sensing.	1
	Point of Connection 1" CITY OF EUREKA	1
	Irrigation Lateral Line: PVC Schedule 40 3/4"	262.3 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	243.8 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	397.9 l.f.
	Irrigation Mainline: PVC Schedule 40	0.3 l.f.
	Irrigation Mainline: PVC Schedule 40 1"	7.9 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/2"	48.2 l.f.
	Pipe Sleeve: PVC Class 200 SDR 21	138.7 l.f.

**IRRIGATION SCHEDULE**

**SOIL MIXES**

- 1 SOIL MIX 1, SEE DETAIL 1/L-500
- 2 SOIL MIX 2, SEE DETAIL 1/L-500
- 3 SOIL MIX 3, SEE DETAIL 1/L-500

NUMBER	MODEL	SIZE	TYPE
1	Rain Bird PEB	1"	SHRUB DRIFLINE 0.4 GPH @ 12" O.C.
2	Rain Bird PEB	1"	SHRUB DRIFLINE 0.6 GPH @ 12" O.C.
3	Rain Bird PEB	1"	Area for Dripline

NUMBER	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	21.14	218.1	30.72		0.64 in/h
2	10.62	212.9	29.21		0.96 in/h
3	16.67	208.3	38.23		0.64 in/h
		56.4			

**VALVE SCHEDULE**

Generated: 2019-07-24 11:11  
P.O.C. NUMBER: 01  
Water Source Information: CITY OF EUREKA  
FLOW AVAILABLE  
Point of Connection Size: 1"  
Flow Available: 20.24 gpm  
PRESSURE AVAILABLE  
Static Pressure at POC: 70.00 psi  
Pressure Available: 70.00 psi  
DESIGN ANALYSIS  
Maximum Station Flow: 19.46 gpm  
Flow Available at POC: 20.24 gpm  
Residual Flow Available: 0.78 gpm  
Critical Station: 3  
Design Pressure: 30.00 psi  
Friction Loss: 5.18 psi  
Fittings Loss: 0.52 psi  
Elevation Loss: 0.00 psi  
Loss through Valve: 2.53 psi  
Pressure Req. at Critical Station: 38.24 psi  
Loss for Fittings: 0.03 psi  
Loss for Main Line: 0.31 psi  
Loss for POC to Valve Elevation: 0.00 psi  
Loss for Backflow: 10.90 psi  
Critical Station Pressure at POC: 49.48 psi  
Pressure Available: 70.00 psi  
Residual Pressure Available: 20.52 psi

**CRITICAL ANALYSIS**

**PRELIMINARY DESIGN**  
**NOT FOR CONSTRUCTION**

Bar is one inch on original size sheet  
0 1"

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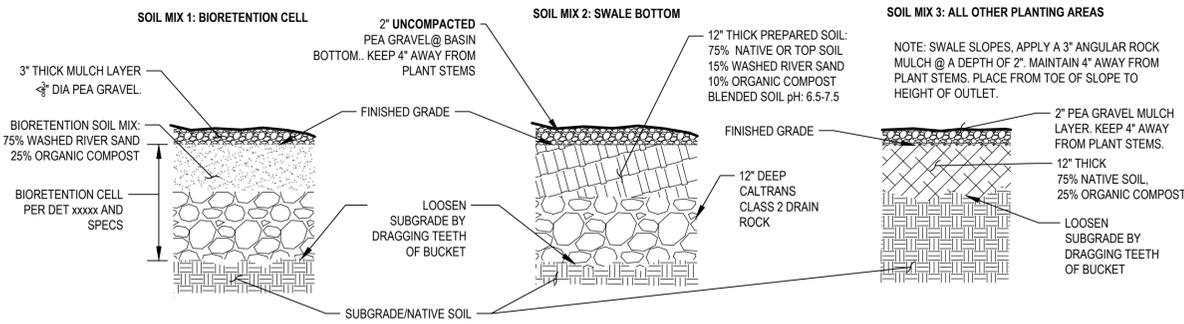


**GHD**  
GHD Inc.  
718 Third Street  
Eureka California 95501 USA  
T 1 707 443 8326 F 1 707 444 8330 W www.ghd.com

Drawn J.HALL	Designer J.HALL
Drafting Check	Design Check N. SANGER
Project Manager N. SANGER	Date 8/2/2019
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Client STEWART RESTAURANT GROUP	Project KFC - 2245 BROADWAY, EUREKA CA
Title SOIL AND IRRIGATION PLANS AND SCHEDULES	Project No. 11184638
Original Size ANSI D	Sheet No. L-100

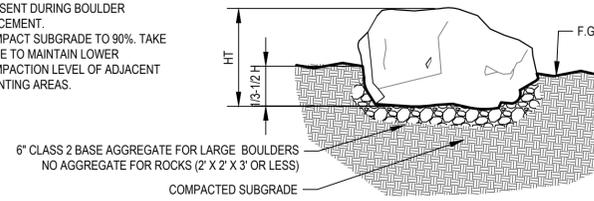
- NOTES
- SOILS TO BE COMPACTED TO 80-85% STANDARD PROCTOR METHOD.
  - CONFIRM EXISTING SUBGRADE DRAINS AT LEAST ONE-HALF INCH PER HOUR OR MORE PRIOR INSTALLATION OF SITE SOILS. WHERE SOILS DRAIN LESS, NOTIFY PROJECT MANAGER.



**1 SOIL AND MULCH MIXES**

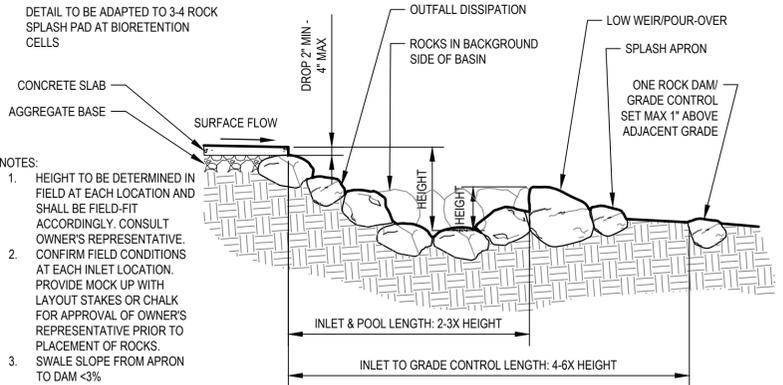
NOT TO SCALE

- NOTES:
- LANDSCAPE ARCHITECT TO BE PRESENT DURING BOULDER PLACEMENT.
  - COMPACT SUBGRADE TO 90%. TAKE CARE TO MAINTAIN LOWER COMPACTION LEVEL OF ADJACENT PLANTING AREAS.



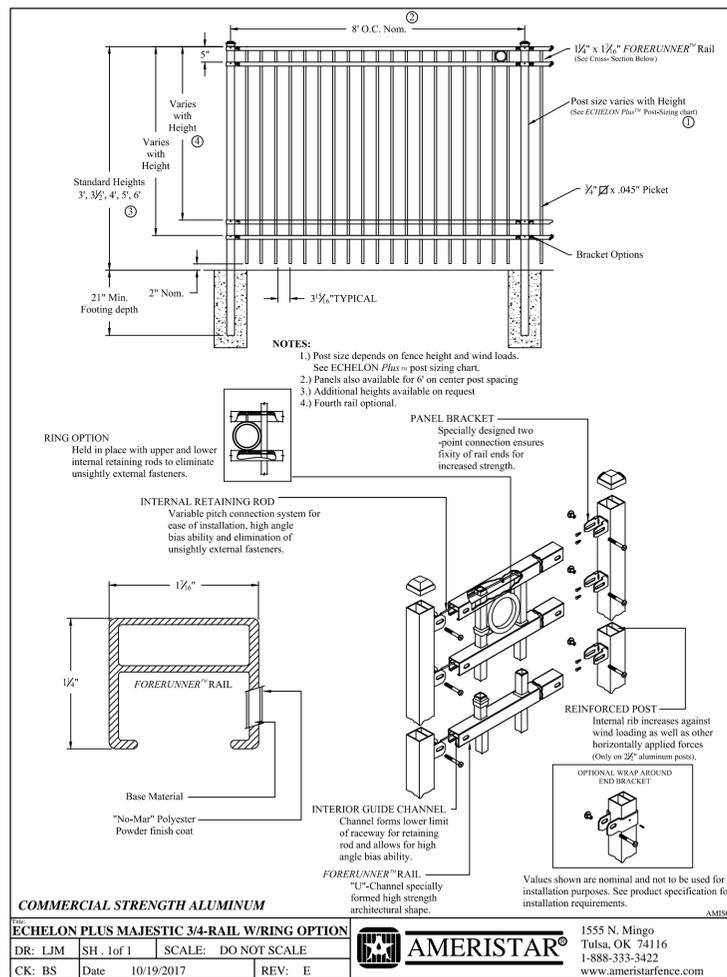
**2 BOULDER PLACEMENT**

NOT TO SCALE



**3 SWALE ENERGY DISSIPATOR INLET**

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**4 PERIMETER FENCE**

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**PRELIMINARY DESIGN**

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**GHD**

GHD Inc.  
718 Third Street  
Eureka California 95501 USA  
T 1 707 443 8326 F 1 707 444 8330 W www.ghd.com

Drawn	J.HALL	Designer	J.HALL
Drafting Check		Design Check	N. SANGER
Project Manager	N. SANGER	Date	7/24/2019
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Client	STEWART RESTAURANT GROUP		
Project	KFC - 2245 BROADWAY, EUREKA CA		
Title	SITWORK DETAILS: FENCE, SOIL AND ROCK PLACEMENT		
Project No.	11184638		
Original Size	ANSI D	Sheet No.	L-500
Scale	AS SHOWN		

